

CITY OF ELLENSBURG  
Public Works Department  
501 North Anderson Street; Ellensburg, WA 98926  
Ph: (509) 962-7230 Fax: (509) 962-7127

J.V  
Kittitas

MEMO

Date: October 10, 2006  
To: Dave Nelson - Encompass Engineering  
From: Peggy Vincent - Engineer Tech I  
Re: Vista View Estates Division 1

The following comments and revisions should be made on the Vista View Estates Division 1 Final Plat Submittal dated September 28, 2006.

- See the attached storm drain note regarding maintenance of the detention area which needs to replace note number one. Plat needs to specify the lot/lots designated responsible for the maintenance. *lots Division one.*
- Need to assign the maintenance of the swale along Kittitas Highway to a responsible party. *lots along*
- Lots 108 thru 125 and 137 thru 146 are non-buildable until such time as the water and sewer services as well as Plumridge Avenue are completed. Lots 126 thru 136 are non-buildable until the frontage improvements are completed or bonded prior to acquiring building permits.
- The drawing reflects easements shown on the revision in review for the proposed church as well as the original design easements. The unneeded easements will need to be abandoned once the revised plans have been approved.
- Sheet 2 of the plat shows a 10' dedication to the city along Kittitas Highway. The word city needs to be removed. Use wording similar to sheet 1.
- The detention tract needs to be functional for division one and will need to be completed during division two. If division two is not constructed it will need to be completed as a part of phase one.
- It might be advisable to eliminate the easements shown that are no longer necessary due to the proposed change for the future church.

C: Joanna Valencia  
Brandon Drexler  
Mike Smith

RECEIVED

OCT 11 2006

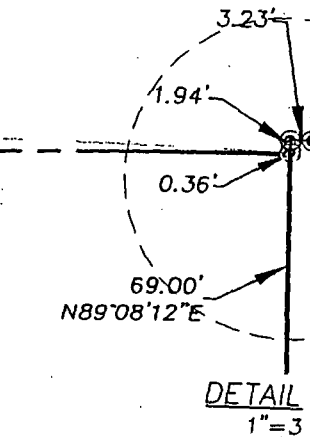
Kittitas County  
CDS

# ESTATES

1, T.17N., R.18E., W.M.  
E OF WASHINGTON

P.

1. As long as the storm drain retention areas are Privately and not publicly owned, it will be operated and maintained by MDJ Development Inc. until the Declaration and Covenants for the Vista View Estates is recorded. At which time the Homeowners Association will assume operation and maintenance responsibilities. If MDJ Development Inc. or Homeowners Association fail in their responsibilities to operate and maintain per the requirements of the plat or should these entities dissolve, the operation and maintenance of this requirement shall become the responsibility of the owners of (INSERT LOT/LOTS NUMBERS). Said operation and maintenance to be in accordance with the pertinent department of ecology "Best Management Practices" manual.



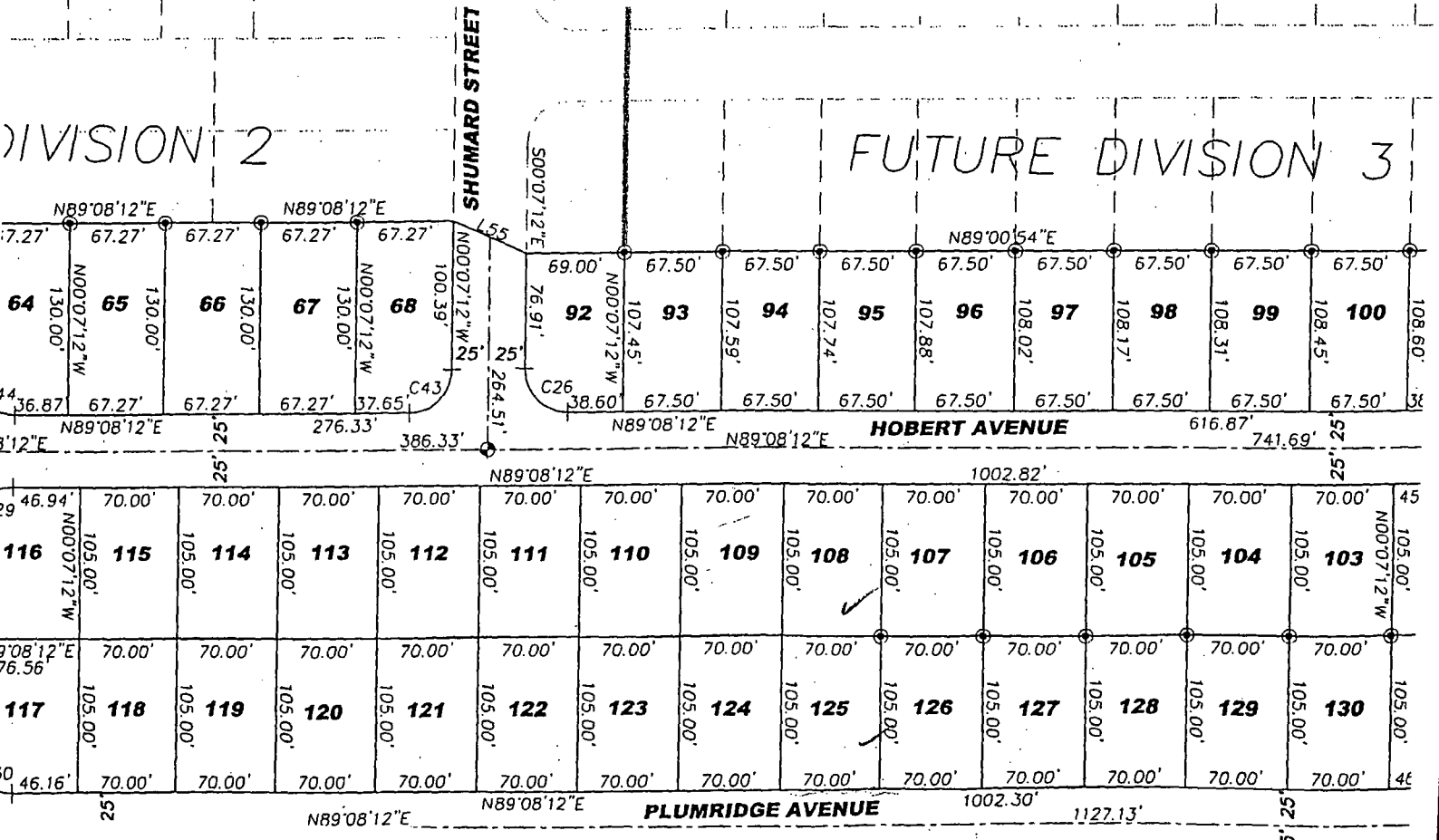
DETAIL  
1"=3

2. INCLUDED IN EACH DIVISION OF THIS PLAT ARE TEMPORARY UTILITY, DRAINAGE, IRRIGATION AND ROADWAY EASEMENTS EXTENDING INTO FUTURE DIVISIONS OF THE PLAT WHICH WILL BE MADE PERMANENT AS EACH PHASE IS CONSTRUCTED. REFER TO THE PROJECT CIVIL DRAWINGS ON FILE AT THE CITY OF ELLENSBURG.
3. FRONT LOT CORNERS ARE LOCATED IN CURB AS AN EXTENSION OF THE LOT LINE.
4. FOR LINE AND CURVE TABLES SEE SHEET 2.

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Lots 108 thru 125 and 137 thru 146 are ~~no~~ buildable until water and sewer services are constructed as well as Plumridge Ave. Lots 126 thru 136 are ~~no~~ buildable until frontage improvements are completed or bonded prior to acquiring building permits.

FOUND VISITEL



DIVISION 2

FUTURE DIVISION 3

PLUMRIDGE AVENUE

HOBERT AVENUE

SHUMARD STREET

64					65					66					67					68					92					93					94					95					96					97					98					99					100				
116					115					114					113					112					111					110					109					108					107					106					105					104					103				
117					118					119					120					121					122					123					124					125					126					127					128					129					130				